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TEAM NAUMOVSKI PRESENTS

BURWOOD ON THE PARK

WHY BUILD? THE ULTIMATE
DESIGN IS ALREADY HERE!



ADAM NAUMOVSKI | 0424 364 326 | NAUMOVSKI REAL ESTATE

SOME FANTASTIC FEATURES INCLUDE:



PROPERTY DETAILS

ADDRESS:

1-14/2 Burwood Road, Balcatta

PRICE:

SEE PRICE BREAKDOWN PAGE

3 bedrooms

2 bathroom

2 car garage

RATES:

Water Rates: BRAND NEW TBA

Council Rates: BRAND NEW TBA

Strata Fee's: Approximately \$400
p/q

Rental Appraisal: Approximately
\$700 - \$750 per week

NAUMOVSKI REAL ESTATE
THE AGENCY

Team Naumovski is proud to present 14 brand new lifestyle villas nestled in the inviting neighbourhood of Burwood Road, Balcatta. Perfect for downsizers, investors, small families, or first-time buyers, these architecturally designed 3-bedroom, 2-bathroom homes feature a seamless open-plan living and dining area. The chef's kitchen is equipped with 40mm stone benchtops, premium appliances, and ample storage space, creating a harmonious hub for everyday living.

Comfort is guaranteed with ducted air-conditioning, high ceilings, and generous natural light from numerous windows. Each bedroom offers built-in robes and ample space for relaxation. The modern bathrooms are as functional as they are stylish.

Outdoor entertaining is a breeze with the undercover spaces that double your living area, perfect for hosting guests or enjoying tranquil park side living.

Location is key, with a wide range of amenities nearby. Just a short walk to the nearest bus stop and Roselea Shopping Centre, and a short drive to Main Street Cafe, Karrinyup Shopping Centre, and the stunning Scarborough and Trigg Beaches.

With high-end finishes and close proximity to shopping and the coast, these homes offer a lifestyle to envy. Burwood On The Park is the perfect place to call home.

WAIT, THERE'S MORE...



THE LOCATION!

- 300m to the nearest bus stop
- 700m to Roselea Shopping Centre
- 1.6km to the Main Street Cafe and Restaurant strip
- 6.7km to Karrinyup Shopping Centre
- Close to all local amenities

NAUMOVSKI REAL ESTATE
THE AGENCY

- Spacious gourmet kitchen with large breakfast bench, 40mm stone tops with waterfall ends and extensive overhead cupboards with built in feature LED light strips
- Open plan kitchen with stone benchtops and stainless steel appliances
- Ducted air-conditioning throughout with touch pad zoning
- Extra high ceilings throughout that create a feeling of space
- Floor to ceiling sheers to the living area
- High end floor +wall tiles and quality carpets
- Extensive LED lighting throughout
- Exposed washed aggregate to main driveway and entry paths
- Extensive timber look wall cladding
- Large glazed aluminium triple lock entrance door with separate entrance hall
- Spacious ensuite with double basins
- Full height 28c internal doors
- Acrylic texture coat throughout all external walls
- Easy care full automatic reticulated gardens and low maintenance artificial lawns
- Security alarm and intercom system with visual monitor
- Abundance of natural light from multiple windows
- Modern and stylish bathrooms
- Great sized bedrooms with built-in robes
- Seamless indoor-outdoor connection, perfect for entertaining
- Low maintenance park side living
- and much much more...

APARTMENT PRICING & AVAILABILITY

PRICE GUIDES:

Units 1 & 2 – From \$769,000

Unit 3 – From \$759,000

Units 4 – 11 – From \$749,000

Unit 5 - \$749,000 - UNDER OFFER

Unit 12 – From \$729,000

Unit 13 – From \$749,000

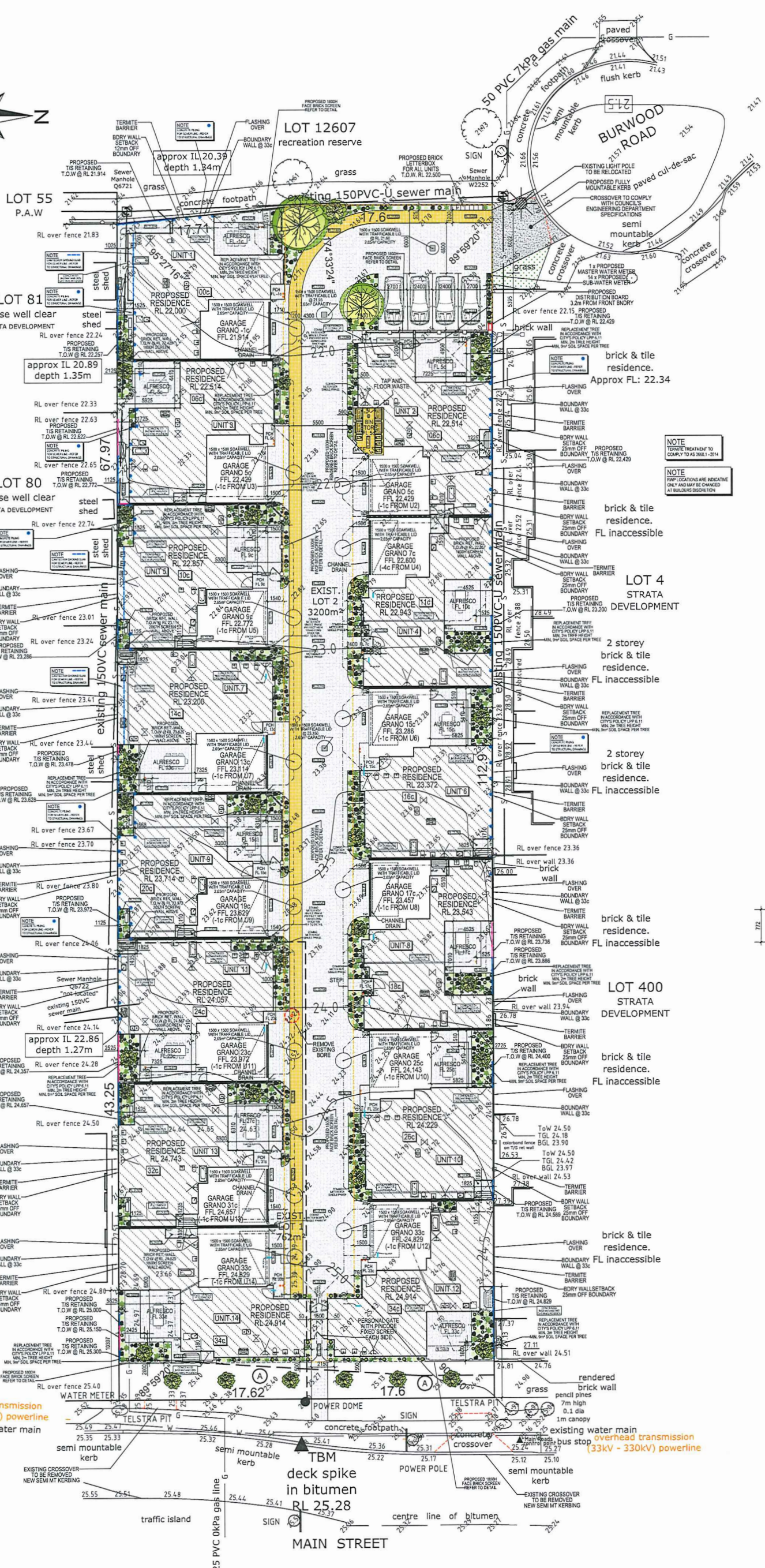
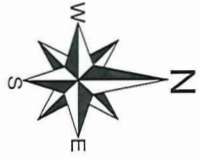
Unit 14 – From \$719,000

ENQUIRE TODAY!

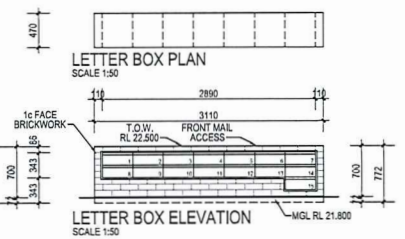


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ADAMN@THEAGENCY.COM.AU





UNIT	Lot Area	Ground & Site Area	Garage & Store Area	Potable Area	Site Area	Common Area	TOTAL Land Area Inc. Common	Site Coverage	Open Space
UNIT 1	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
UNIT 2	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
UNIT 3	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
UNIT 4	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
UNIT 5	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
UNIT 6	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
UNIT 7	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
UNIT 8	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
UNIT 9	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
UNIT 10	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
UNIT 11	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
UNIT 12	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
UNIT 13	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
UNIT 14	18.70m ²	156.00m ²	157.14m ²	1.88m ²	175.54m ²	65.57m ²	241.11m ²	43.33%	97.77m ²
TOTAL	252.00m²	2016.00m²	2028.56m²	28.24m²	2457.92m²	857.14m²	3315.06m²	43.33%	1158.14m²



SHEET NO:	S4 OF 87	A	295&297M
DATE:	11/01/22	BY:	04/04/22
SCALE:	AS SHOWN	DATE:	04/04/22
PROJECT:	S4 OF 87 A 295&297M		
OWNER:	WITNESS		
CONTRACTOR:	WITNESS		
BUILDER:	WITNESS		
DATED:	WITNESS		

SITE PLAN

THIS IS ONE OF THE TO IN THE CONTRACT

DATE: 11/01/22

BY: 04/04/22

SCALE: AS SHOWN

PROJECT: S4 OF 87 A 295&297M

OWNER: WITNESS

CONTRACTOR: WITNESS

BUILDER: WITNESS

DATED: WITNESS

100891 OVERALL

5800 5800 4250 2700 6890 3820 4130 3200 7590 1310 4250 2700 6890 3820 4130 3200 7590 1310 4250 2700



existing 150PVC-U sewer main

WALL MATERIAL LEGEND

	STANDARD MAINT BRICKWORK	CONCRETE
	2" HIGH FLOORING FACE BRICKWORK	CONCRETE
	ACoustic MAINT BRICKWORK	CONCRETE
	CAVITY INSULATION AS PER ENERGY ASSESSMENT	CONCRETE

AREAS	UNIT 1	UNIT 2	UNIT 3	UNIT 4	UNIT 5	UNIT 6	UNIT 7
Ground Living Area =	119.20sq'	121.63sq'	117.55sq'	118.24sq'	117.87sq'	117.29sq'	118.24sq'
Garage & Store Area =	33.38sq'	33.81sq'	33.51sq'	33.81sq'	33.81sq'	33.81sq'	33.81sq'
Porch Area =	1.88sq'	1.88sq'	1.88sq'	1.88sq'	1.88sq'	1.88sq'	1.88sq'
Alfresco Area =	15.50sq'	15.50sq'	15.50sq'	15.50sq'	15.50sq'	15.50sq'	15.50sq'
Bed Area =	173.44sq'	173.44sq'	173.44sq'	173.44sq'	173.44sq'	173.44sq'	173.44sq'
Common Area =	212.00sq'	212.00sq'	212.00sq'	212.00sq'	212.00sq'	212.00sq'	212.00sq'
TOTAL Landmarkic Common =	56.61%	56.61%	56.61%	56.61%	56.61%	56.61%	56.61%
Open Space =	43.39%	43.39%	43.39%	43.39%	43.39%	43.39%	43.39%
Ground Living Area =	118.24sq'	117.87sq'	117.29sq'	118.24sq'	117.87sq'	117.29sq'	118.24sq'
Garage & Store Area =	33.81sq'	33.81sq'	33.81sq'	33.81sq'	33.81sq'	33.81sq'	33.81sq'
Porch Area =	1.88sq'	1.88sq'	1.88sq'	1.88sq'	1.88sq'	1.88sq'	1.88sq'
Alfresco Area =	15.50sq'	15.50sq'	15.50sq'	15.50sq'	15.50sq'	15.50sq'	15.50sq'
Bed Area =	173.44sq'	173.44sq'	173.44sq'	173.44sq'	173.44sq'	173.44sq'	173.44sq'
Common Area =	212.00sq'	212.00sq'	212.00sq'	212.00sq'	212.00sq'	212.00sq'	212.00sq'
TOTAL Landmarkic Common =	56.61%	56.61%	56.61%	56.61%	56.61%	56.61%	56.61%
Open Space =	43.39%	43.39%	43.39%	43.39%	43.39%	43.39%	43.39%
Ground Living Area =	118.24sq'	117.87sq'	117.29sq'	118.24sq'	117.87sq'	117.29sq'	118.24sq'
Garage & Store Area =	33.81sq'	33.81sq'	33.81sq'	33.81sq'	33.81sq'	33.81sq'	33.81sq'
Porch Area =	1.88sq'	1.88sq'	1.88sq'	1.88sq'	1.88sq'	1.88sq'	1.88sq'
Alfresco Area =	15.50sq'	15.50sq'	15.50sq'	15.50sq'	15.50sq'	15.50sq'	15.50sq'
Bed Area =	173.44sq'	173.44sq'	173.44sq'	173.44sq'	173.44sq'	173.44sq'	173.44sq'
Common Area =	212.00sq'	212.00sq'	212.00sq'	212.00sq'	212.00sq'	212.00sq'	212.00sq'
TOTAL Landmarkic Common =	56.61%	56.61%	56.61%	56.61%	56.61%	56.61%	56.61%
Open Space =	43.39%	43.39%	43.39%	43.39%	43.39%	43.39%	43.39%

PLAN ALL 2

DRAWING DATE: 29/09/2017

S4 OF 87 A 295&297M

OWNER: WINNERS

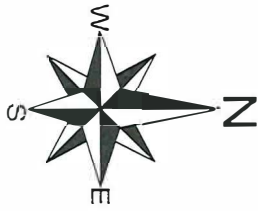
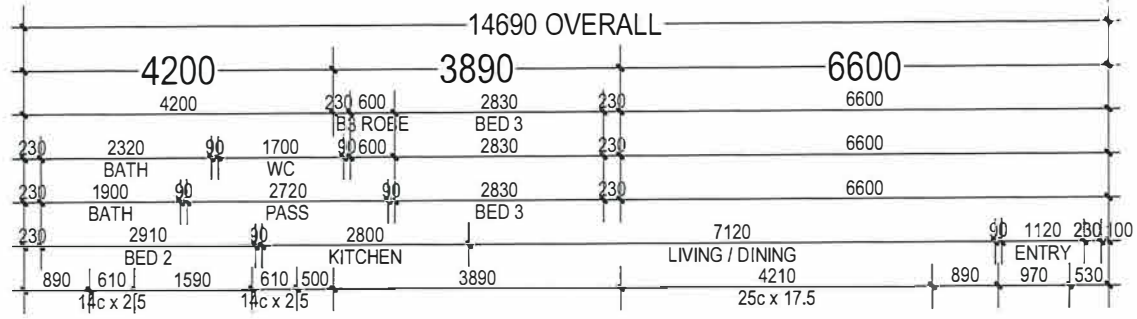
DRAWING REFERRED TO: WINNERS

DATE: 29/09/2017

WALL MATERIAL LEGEND	
	STANDARD MAXI BRICKWORK
	2c HIGH FLORENTINE FACE BRICKWORK
	1c HIGH FEATURE FACE BRICKWORK
	ACOUSTIC MAXI BRICKWORK
	CAVITY INSULATION AS PER ENERGY ASSESSMENT

NOTE
RWP LOCATIONS ARE INDICATIVE ONLY AND MAY BE CHANGED AT BUILDERS DISCRETION

NOTE
STORM WATER TO COMPLY WITH AS3500, BCA, & LG REQUIREMENTS



NOTE
CONCRETE PILING FOR SEWER LINE - REFER TO STRUCTURAL DRAWINGS

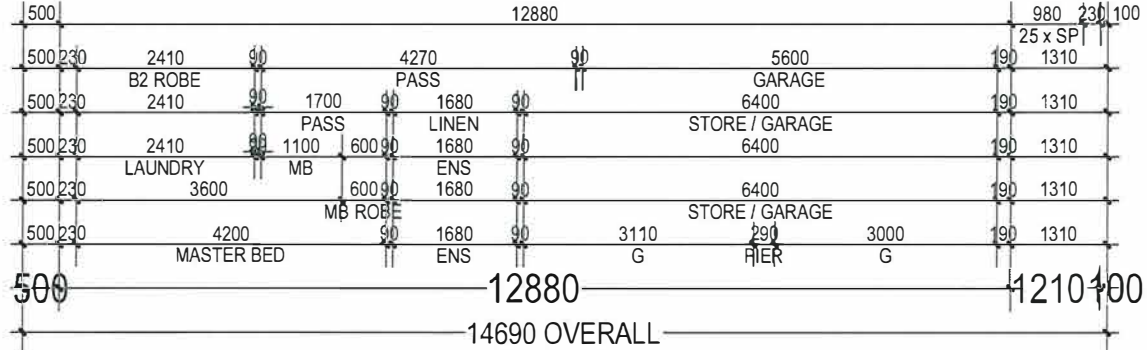
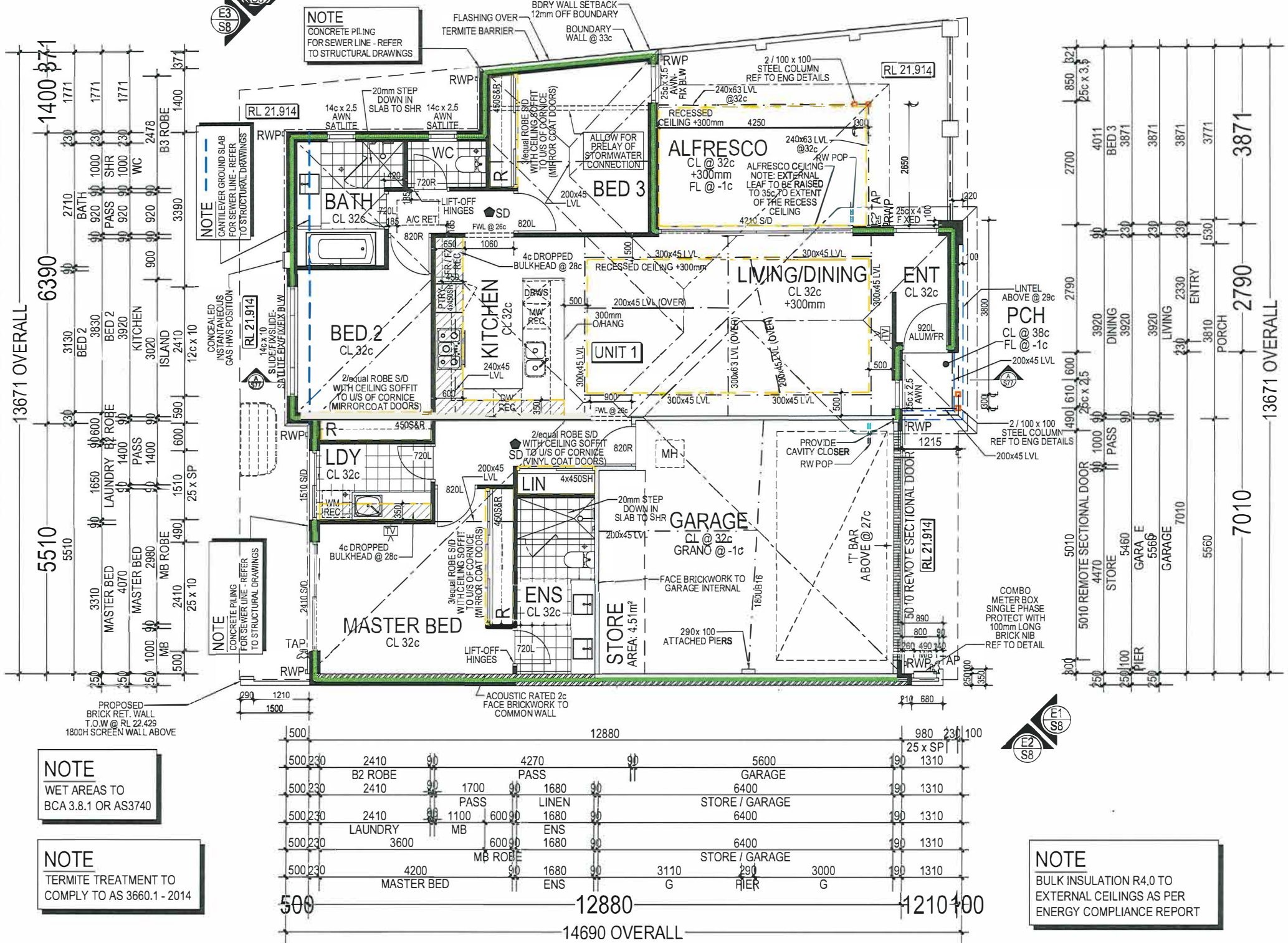
NOTE
CANTILEVER GROUND SLAB FOR SEWER LINE - REFER TO STRUCTURAL DRAWINGS

NOTE
CONCRETE PILING FOR SEWER LINE - REFER TO STRUCTURAL DRAWINGS

NOTE
WET AREAS TO BCA 3.8.1 OR AS3740

NOTE
TERMITE TREATMENT TO COMPLY TO AS 3660.1 - 2014

NOTE
BULK INSULATION R4.0 TO EXTERNAL CEILINGS AS PER ENERGY COMPLIANCE REPORT



AREAS:

UNIT 1	
Ground Living Area =	119.70m ²
Garage & Store Area =	36.36m ²
TOTAL Ground Area =	156.06m ²
Portico Area =	1.88m ²
Alfresco Area =	15.50m ²
TOTAL House Area =	173.44m²
Site Area =	215.00m ²
Common Area =	60.57m ²
TOTAL Land Area inc. Common =	275.57m ²
Site Coverage =	56.63%
Open Space =	43.37%

DRAWING NAME:

UNIT 1 FLOOR PLAN

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

OWNER WITNESS
OWNER WITNESS
ER WITN SS

Please check plans, specification and addenda carefully. All dimensions to take preference over scaling. All dimensions to be checked on site, any error or discrepancies then please contact the office. © COPYRIGHT

SHEET No: **S7 OF 87** REVISION: **A** JOB No: **295&297M**

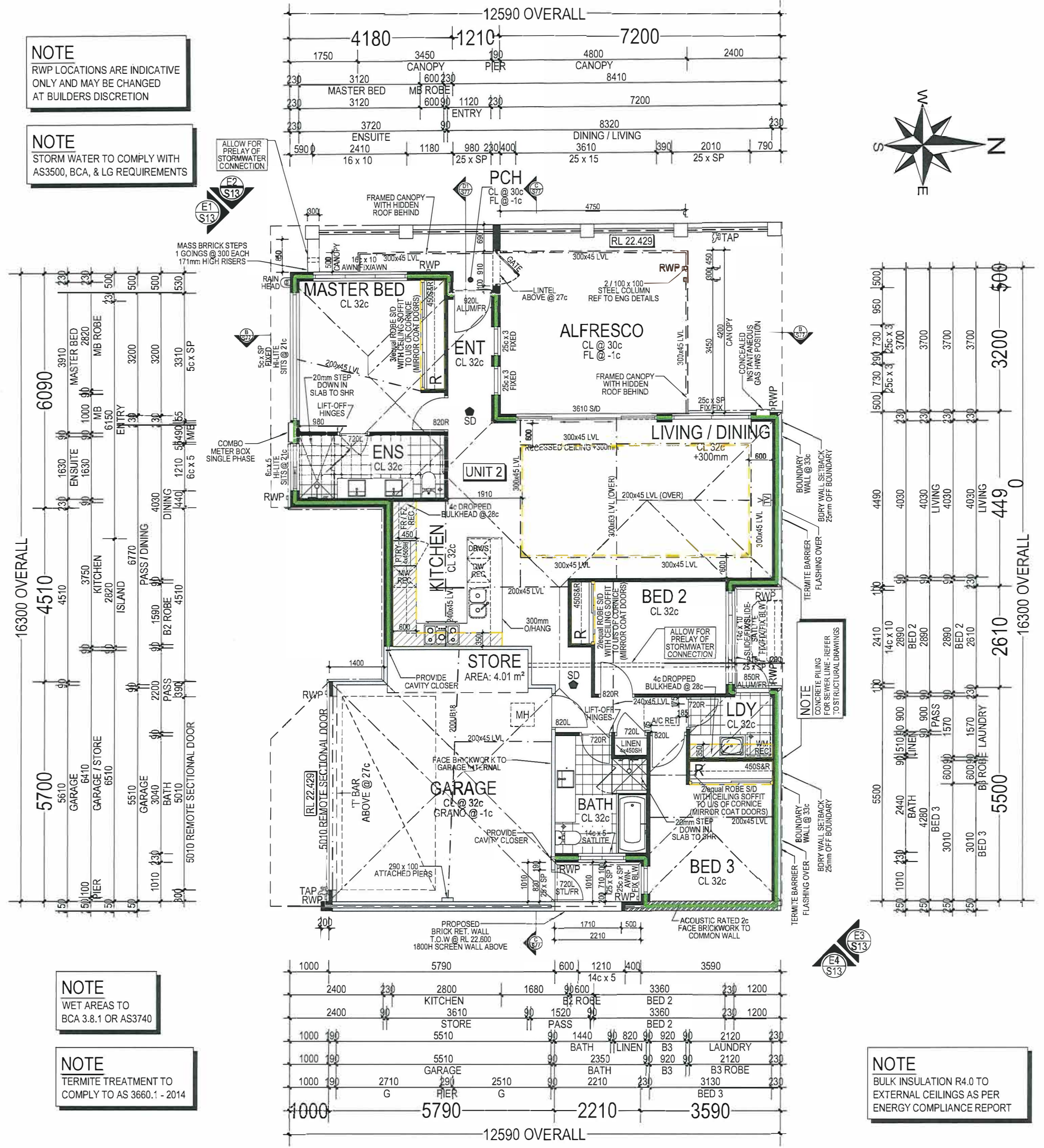
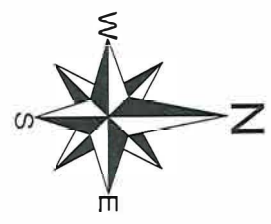
Drawn By: AP529 Date Drawn: 11/01/22 Scale: 1:100 @ A3 Date Prntd: 04/04/22 Ver: 3.2 CHKD:

WALL MATERIAL LEGEND

	STANDARD MAXI BRICKWORK
	2c HIGH FLORENTINE FACE BRICKWORK
	1c HIGH FEATURE FACE BRICKWORK
	ACOUSTIC MAXI BRICKWORK
	CAVITY INSULATION AS PER ENERGY ASSESSMENT

NOTE
RWP LOCATIONS ARE INDICATIVE ONLY AND MAY BE CHANGED AT BUILDERS DISCRETION

NOTE
STORM WATER TO COMPLY WITH AS3500, BCA, & LG REQUIREMENTS



NOTE
WET AREAS TO BCA 3.8.1 OR AS3740

NOTE
TERMITE TREATMENT TO COMPLY TO AS 3660.1 - 2014

NOTE
BULK INSULATION R4.0 TO EXTERNAL CEILINGS AS PER ENERGY COMPLIANCE REPORT

1000	5790	600	1210	400	3590
2400	230	2800	1680	90	600
2400	90	3610	90	1520	90
1000	190	5510	90	1440	90
1000	190	5510	90	2350	90
1000	190	2710	90	2210	230
1000	5790	2210	3590		

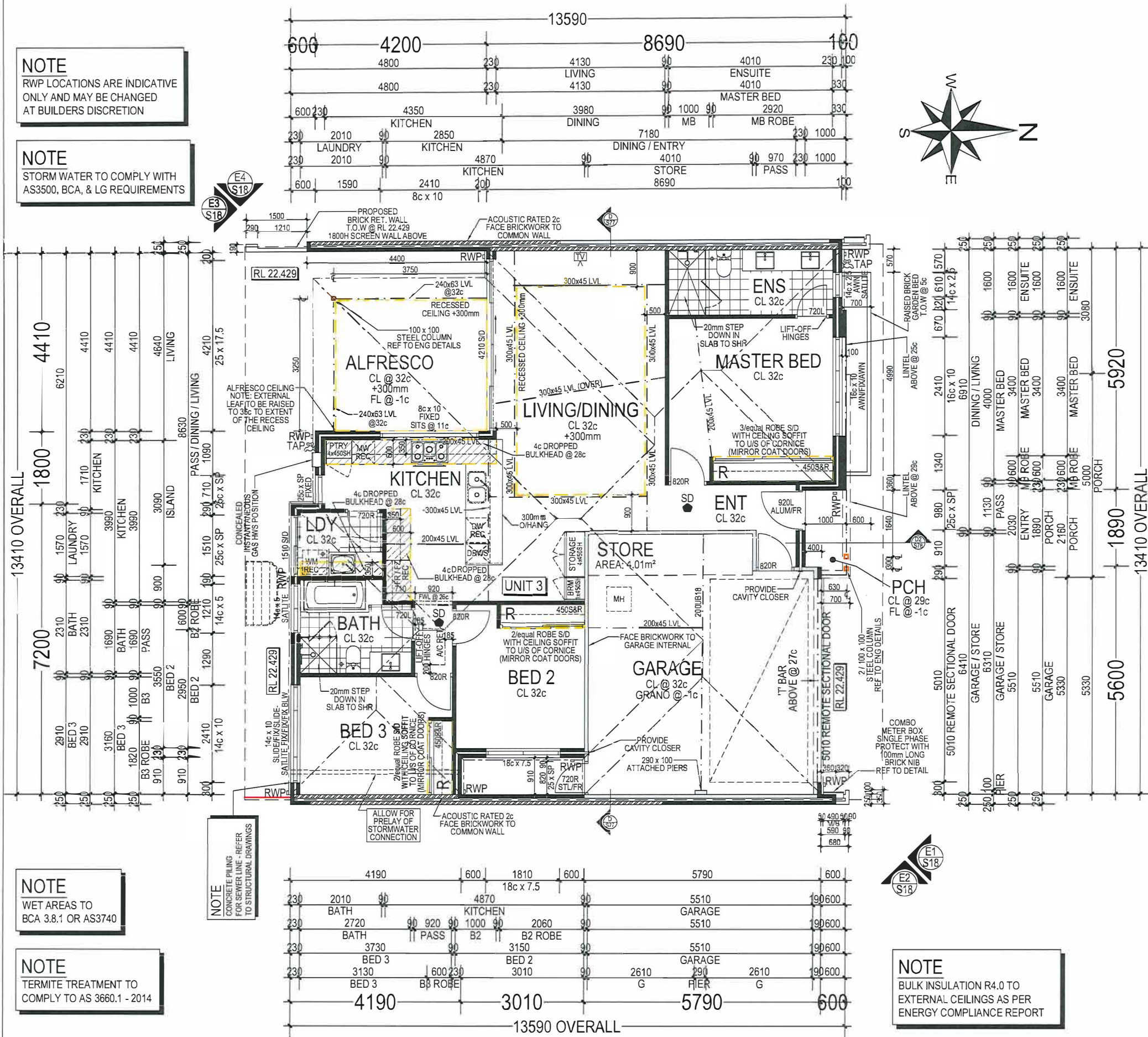
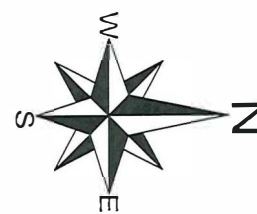
AREAS: UNIT 2 Ground Living Area = 121.63m ² Garage & Store Area = 35.51m ² TOTAL Ground Area = 157.14m ² Portico Area = 2.24m ² Alfresco Area = 20.16m ² TOTAL House Area = 179.54m² Site Area = 217.00m ² Common Area = 60.57m ² TOTAL Land Area inc. Common = 277.57m ² Site Coverage = 56.61% Open Space = 43.39%		DRAWING NAME: <h2 style="text-align: center;">UNIT 2 FLOOR PLAN</h2>		SHEET No: S12 OF 87	REVISION: A	JOB No: 295&297M
THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.		OWNER OWNER BUILDER	WITNESS WITNESS WITNESS	DATED:/...../.....		
Please check plans, specification and addenda carefully. All dimensions to take preference over scaling. All dimensions to be checked on site, any error or discrepancies then please contact the office. © COPYRIGHT						
Drawn By: AP529	Date Drawn: 11/01/22	Scale: 1:100 @ A3	Date Pmtd: 04/04/22	Ver: 3.2	CHKD:	

WALL MATERIAL LEGEND

	STANDARD MAXI BRICKWORK
	2c HIGH FLORENTINE FACE BRICKWORK
	BRICKWORK TO SPECIFIED HEIGHT
	ACOUSTIC MAXI BRICKWORK

NOTE
RWP LOCATIONS ARE INDICATIVE ONLY AND MAY BE CHANGED AT BUILDERS DISCRETION

NOTE
STORM WATER TO COMPLY WITH AS3500, BCA, & LG REQUIREMENTS



NOTE
WET AREAS TO BCA 3.8.1 OR AS3740

NOTE
TERMITE TREATMENT TO COMPLY TO AS 3660.1 - 2014

NOTE
BULK INSULATION R4.0 TO EXTERNAL CEILINGS AS PER ENERGY COMPLIANCE REPORT

AREAS:

UNIT 3	
Ground Living Area =	117.55m²
Garage & Store Area =	35.65m²
TOTAL Ground Area =	153.20m²
Portico Area =	2.43m²
Alfresco Area =	16.01m²
TOTAL House Area =	171.64m²
Site Area =	213.00m²
Common Area =	60.57m²
TOTAL Land Area inc. Common =	273.57m²
Site Coverage =	56.00%
Open Space =	44.00%

DRAWING NAME:

UNIT 3 FLOOR PLAN

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

DATED:/...../.....

Please check plans, specification and addenda carefully. All dimensions to be checked on site, any error or discrepancies then please contact the office. © COPYRIGHT

SHEET No:

S17 OF 87

REVISION:

A

JOB No:

295&297M

Drawn By: AP529

Date Drawn: 11/01/22

Scale: 1:100 @ A3

Date Prntd: 04/04/22

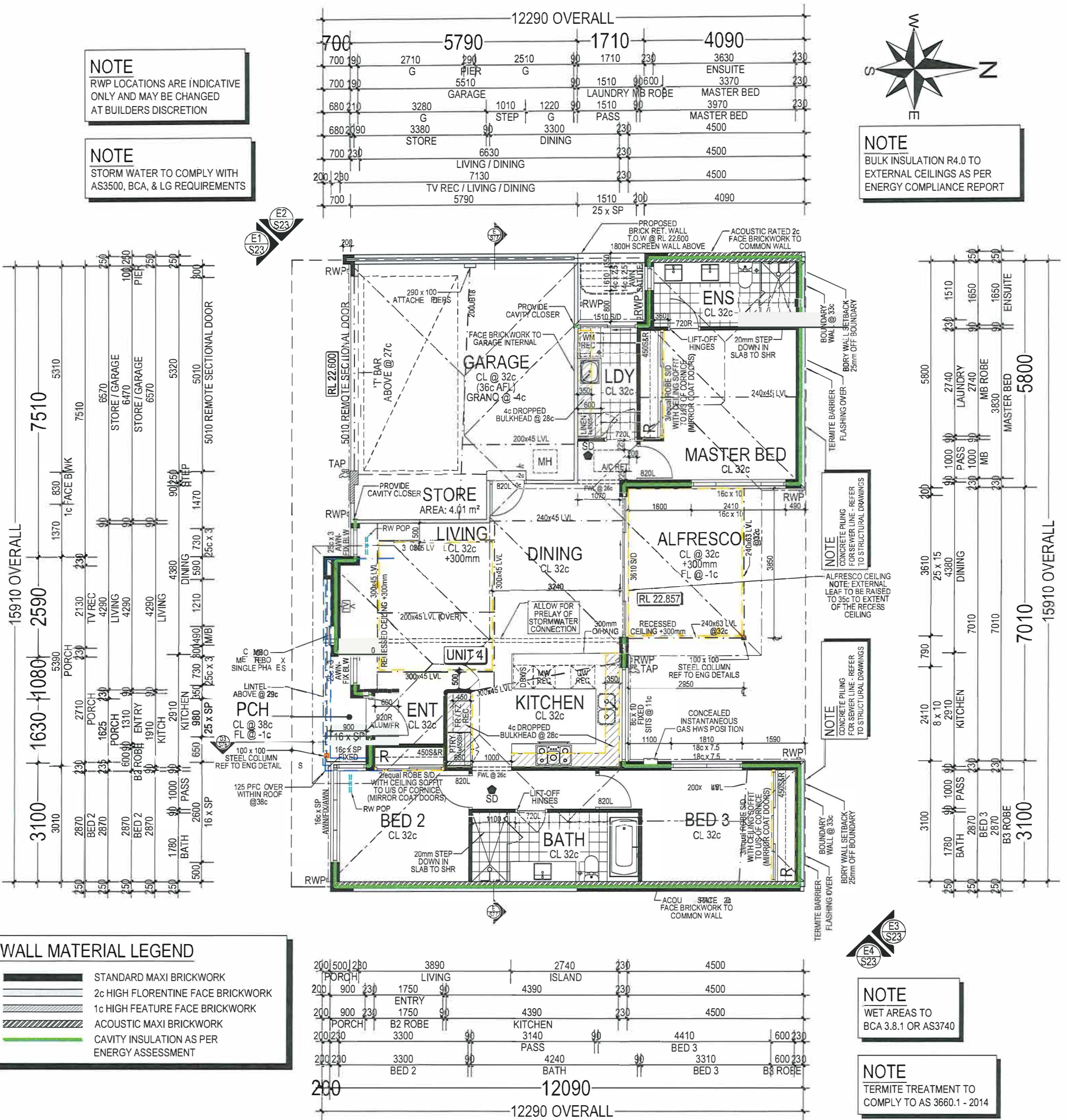
Ver: 3.2

CHKD:

NOTE
RWP LOCATIONS ARE INDICATIVE ONLY AND MAY BE CHANGED AT BUILDERS DISCRETION

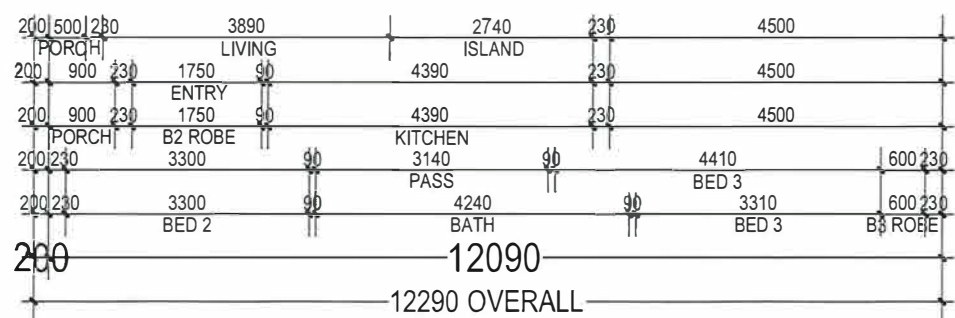
NOTE
STORM WATER TO COMPLY WITH AS3500, BCA, & LG REQUIREMENTS

NOTE
BULK INSULATION R4.0 TO EXTERNAL CEILINGS AS PER ENERGY COMPLIANCE REPORT



WALL MATERIAL LEGEND

	STANDARD MAXI BRICKWORK
	2c HIGH FLORENTINE FACE BRICKWORK
	1c HIGH FEATURE FACE BRICKWORK
	ACOUSTIC MAXI BRICKWORK
	CAVITY INSULATION AS PER ENERGY ASSESSMENT



NOTE
ALFRESCO CEILING CONCRETE PILING FOR SEWER LINE - REFER TO STRUCTURAL DRAWINGS

NOTE
CONCRETE PILING FOR SEWER LINE - REFER TO STRUCTURAL DRAWINGS

NOTE
WET AREAS TO BCA 3.8.1 OR AS3740

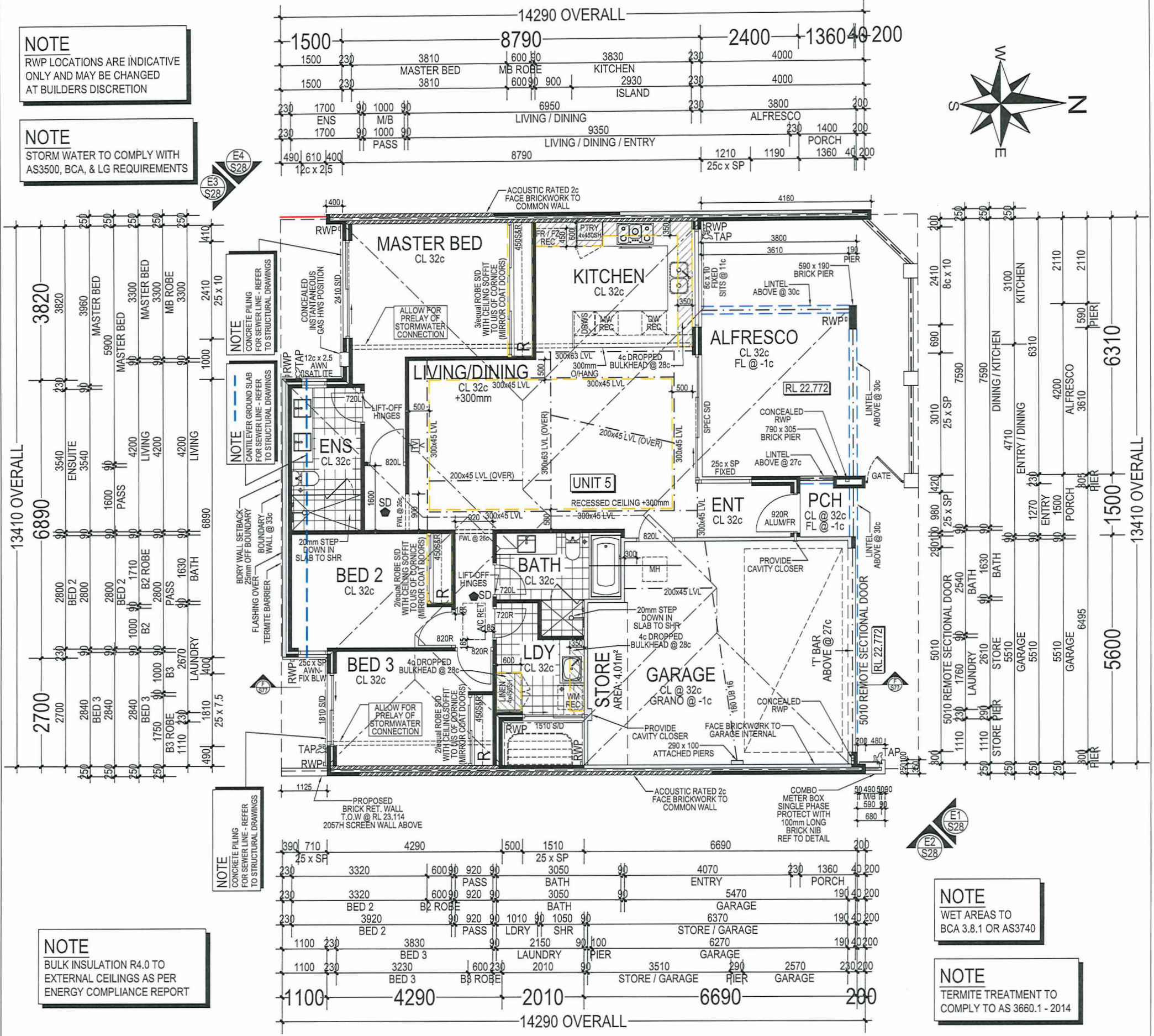
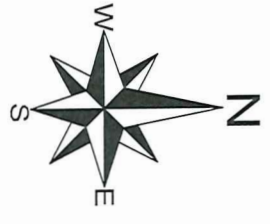
NOTE
TERMITE TREATMENT TO COMPLY TO AS 3660.1 - 2014

<p>AREAS:</p> <p>UNIT 4</p> <p>Ground Living Area = 118.56m²</p> <p>Garage & Store Area = 35.87m²</p> <p>TOTAL Ground Area = 154.43m²</p> <p>Portico Area = 3.16m²</p> <p>Alfresco Area = 14.62m²</p> <p>TOTAL House Area = 172.21m²</p>		<p>DRAWING NAME:</p> <p>UNIT 4 FLOOR PLAN</p>		<p>SHEET No:</p> <p>S22 OF 87</p>		<p>REVISION:</p> <p>A</p>		<p>JOB No:</p> <p>295&297M</p>			
<p>Site Area = 212.00m²</p> <p>Common Area = 60.57m²</p> <p>TOTAL Land Area inc. Common = 272.57m²</p> <p>Site Coverage = 56.66%</p> <p>Open Space = 43.34%</p>		<p>THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.</p> <p>OWNER WITNESS</p> <p>OWNER WITNESS</p> <p>DATED:/...../..... BUILDER WITNESS</p>		<p>SHIRE:</p> <p>CITY OF STIRLING</p>		<p>Drawn By: AP529</p> <p>Date Drawn: 11/01/22</p> <p>Scale: 1:100 @ A3</p> <p>Date Pmtd: 04/04/22</p> <p>Ver: 3.2</p> <p>CHKD:</p>		<p>Please check plans, specifications and addenda carefully. All dimensions to be checked on site, any discrepancies then please contact office.</p> <p>© COPYRIGHT HT</p>		<p>Drawn By: AP529</p> <p>Date Drawn: 11/01/22</p> <p>Scale: 1:100 @ A3</p> <p>Date Pmtd: 04/04/22</p> <p>Ver: 3.2</p> <p>CHKD:</p>	

WALL MATERIAL LEGEND	
	STANDARD MAXI BRICKWORK
	2c HIGH FLORENTINE FACE BRICKWORK
	BRICKWORK TO SPECIFIED HEIGHT
	ACOUSTIC MAXI BRICKWORK

NOTE
RWP LOCATIONS ARE INDICATIVE ONLY AND MAY BE CHANGED AT BUILDERS DISCRETION

NOTE
STORM WATER TO COMPLY WITH AS3500, BCA, & LG REQUIREMENTS



NOTE
CONCRETE PILING FOR SEWER LINE - REFER TO STRUCTURAL DRAWINGS

NOTE
CONCRETE PILING FOR SEWER LINE - REFER TO STRUCTURAL DRAWINGS

NOTE
CONCRETE PILING FOR SEWER LINE - REFER TO STRUCTURAL DRAWINGS

NOTE
WET AREAS TO BCA 3.8.1 OR AS3740

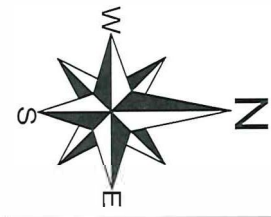
NOTE
TERMITE TREATMENT TO COMPLY TO AS 3660.1 - 2014

NOTE
BULK INSULATION R4.0 TO EXTERNAL CEILINGS AS PER ENERGY COMPLIANCE REPORT

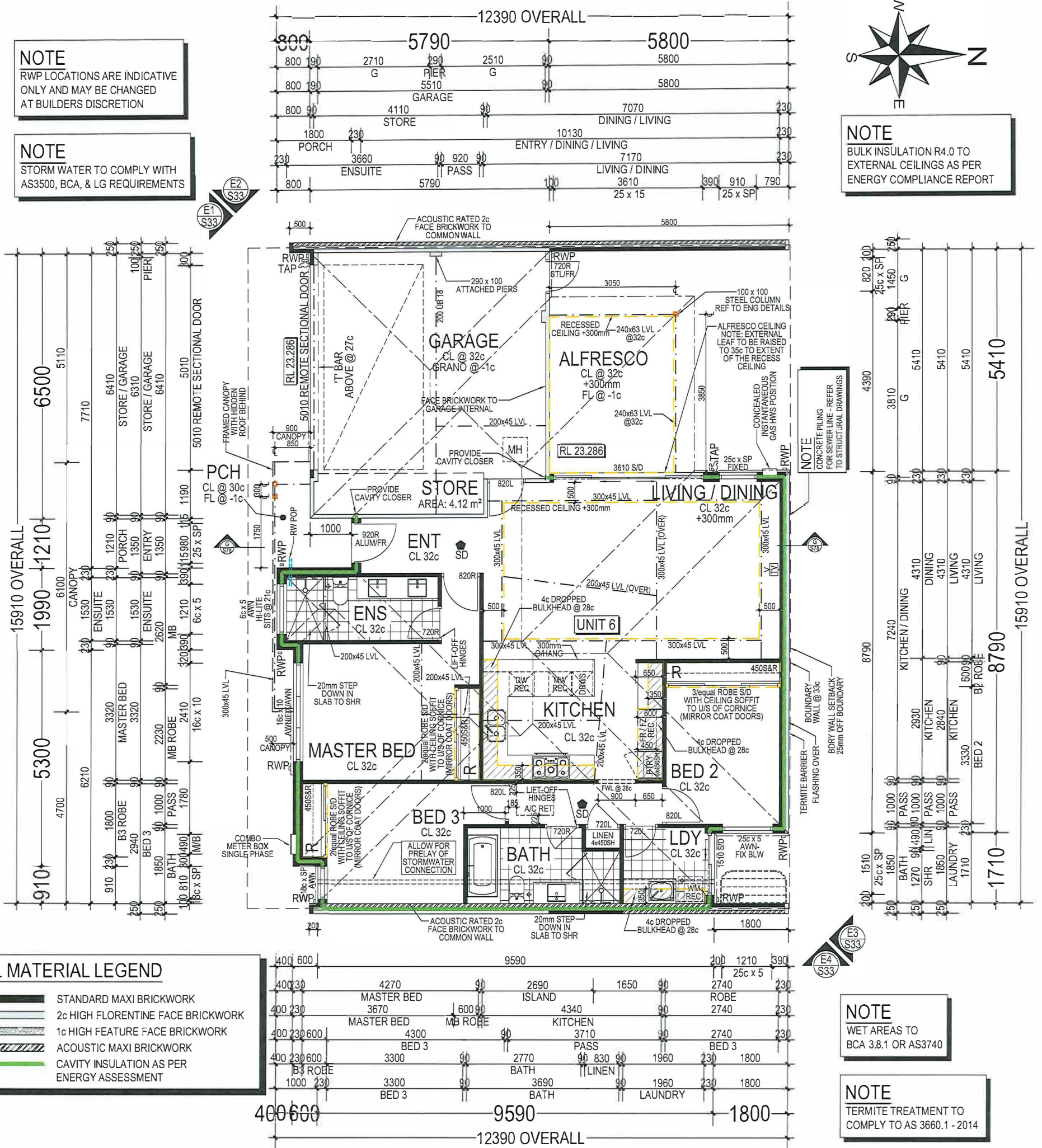
AREAS:		DRAWING NAME:		SHEET No:	REVISION:	JOB No:
UNIT 5		UNIT 5 FLOOR PLAN		S27 OF 87	A	295&297M
Ground Living Area =	117.87m²	THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.				
Garage & Store Area =	35.63m²	OWNER	WITNESS			
TOTAL Ground Area =	153.50m²	OWNER	WITNESS			
Portico Area =	1.76m²	DATED:/...../.....				
Alfresco Area =	16.21m²	BUILDER	WITNESS			
TOTAL House Area =	171.47m²	Please check plans, specification and addenda carefully. All dimensions to take preference over scaling. All dimensions to be checked on site, any error or discrepancies then please contact the office. © COPYRIGHT		SHIRE: CITY OF STIRLING		
Site Area =	213.00m²			Drawn By:	Date Drawn:	Scale:
Common Area =	60.57m²			AP529	11/01/22	1:100 @ A3
TOTAL Land Area inc. Common =	273.57m²			Date Prntd:	Ver:	CHKD:
Site Coverage =	56.11%			04/04/22	3.2	
Open Space =	43.89%					

NOTE
RWP LOCATIONS ARE INDICATIVE ONLY AND MAY BE CHANGED AT BUILDERS DISCRETION

NOTE
STORM WATER TO COMPLY WITH AS3500, BCA, & LG REQUIREMENTS



NOTE
BULK INSULATION R4.0 TO EXTERNAL CEILINGS AS PER ENERGY COMPLIANCE REPORT



WALL MATERIAL LEGEND

- STANDARD MAXI BRICKWORK
- 2c HIGH FLORENTINE FACE BRICKWORK
- 1c HIGH FEATURE FACE BRICKWORK
- ACOUSTIC MAXI BRICKWORK
- CAVITY INSULATION AS PER ENERGY ASSESSMENT

NOTE
WET AREAS TO BCA 3.8.1 OR AS3740

NOTE
TERMITE TREATMENT TO COMPLY TO AS 3660.1 - 2014

AREAS:

UNIT 6	
Ground Living Area =	117.30m ²
Garage & Store Area =	36.34m ²
TOTAL Ground Area =	153.64m ²
Portico Area =	2.77m ²
Alfresco Area =	15.05m ²
TOTAL House Area =	171.46m²
Site Area =	212.00m ²
Common Area =	60.57m ²
TOTAL Land Area inc. Common =	272.57m ²
Site Coverage =	56.37%
Open Space =	43.63%

DRAWING NAME:
UNIT 6 FLOOR PLAN

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED:/...../.....

Please check plans, specification and addenda carefully. All dimensions to take preference over scaling. All dimensions to be checked on site, any error or discrepancies then please contact the office. © COPYRIGHT

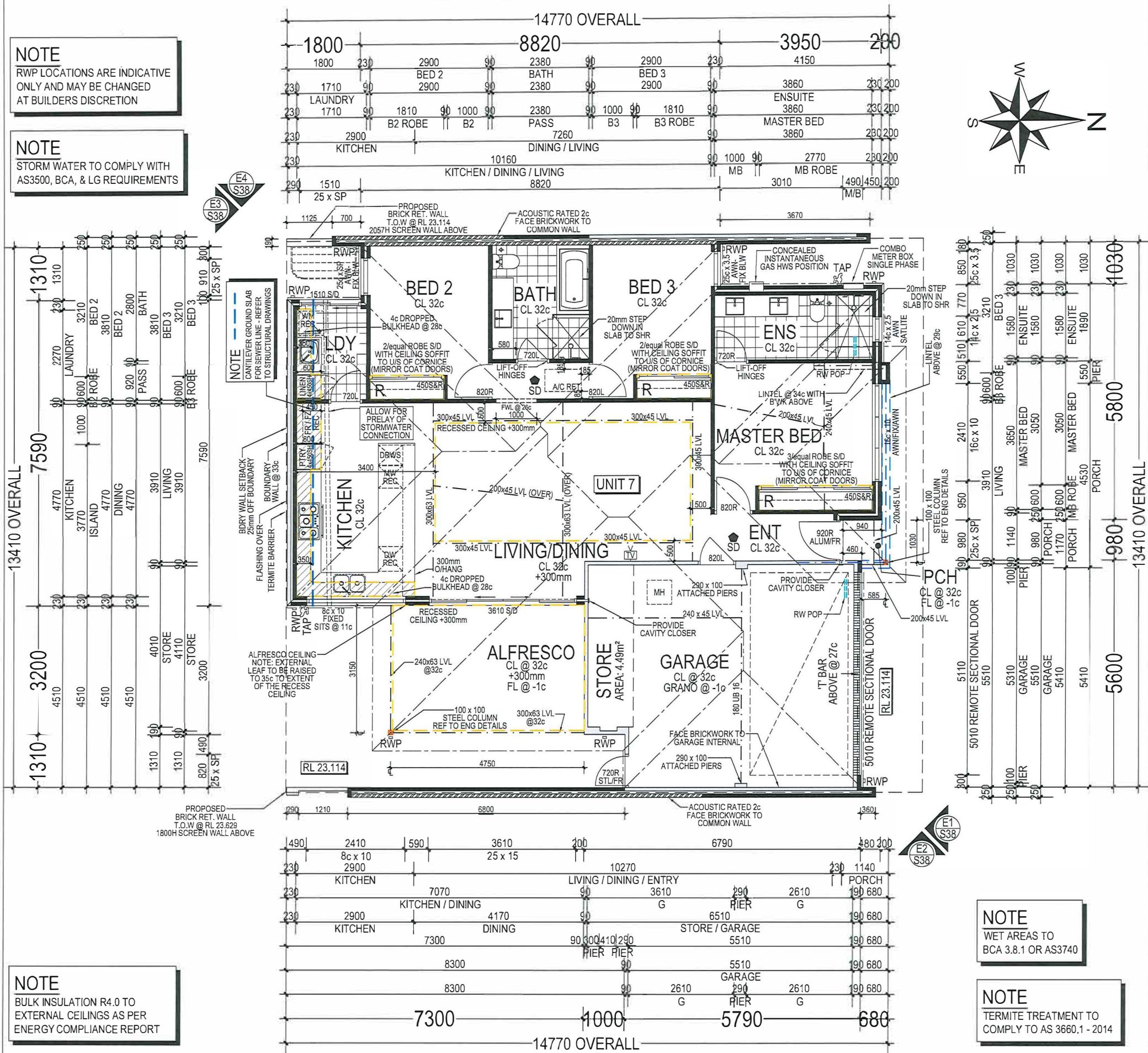
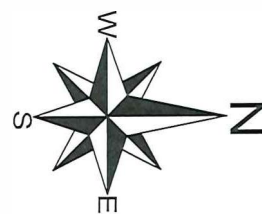
SHEET No: S32 OF 87	REVISION: A	JOB No: 295&297M
SHIRE: CITY OF STIRLING		
Drawn By: AP529	Date Drawn: 11/01/22	Scale: 1:100 @ A3
Date Prntd: 04/04/22	Ver: 3.2	CHKD:

WALL MATERIAL LEGEND

- STANDARD MAXI BRICKWORK
- 2c HIGH FLORENTINE FACE BRICKWORK
- BRICKWORK TO SPECIFIED HEIGHT
- ACOUSTIC MAXI BRICKWORK

NOTE
RWP LOCATIONS ARE INDICATIVE ONLY AND MAY BE CHANGED AT BUILDERS DISCRETION

NOTE
STORM WATER TO COMPLY WITH AS3500, BCA, & LG REQUIREMENTS



AREAS:

UNIT 7	
Ground Living Area =	116.23m ²
Garage & Store Area =	36.57m ²
TOTAL Ground Area =	152.80m ²
Portico Area =	1.38m ²
Alfresco Area =	18.72m ²
TOTAL House Area =	172.90m²
Site Area =	213.00m ²
Common Area =	60.57m ²
TOTAL Land Area inc. Common =	273.57m ²
Site Coverage =	55.85%
Open Space =	44.15%

DRAWING NAME:

UNIT 7 FLOOR PLAN

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

OWNER WITNESS

OWNER WITNESS

DATED:/...../.....

BUILDER WITNESS

Please check plans, specification and addenda carefully. All dimensions to take preference over scaling. All dimensions to be checked on site, any error or discrepancies then please contact the office. © COPYRIGHT

SHEET No:

S37 OF 87

REVISION:

A

JOB No:

295&297M

SHIRE:

CITY OF STIRLING

Drawn By: AP529

Date Drawn: 11/01/22

Scale: 1:100 @ A3

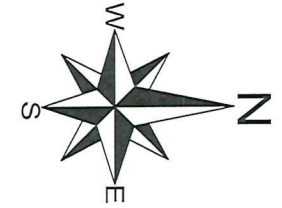
Date Prntd: 04/04/22

Ver: 3.2

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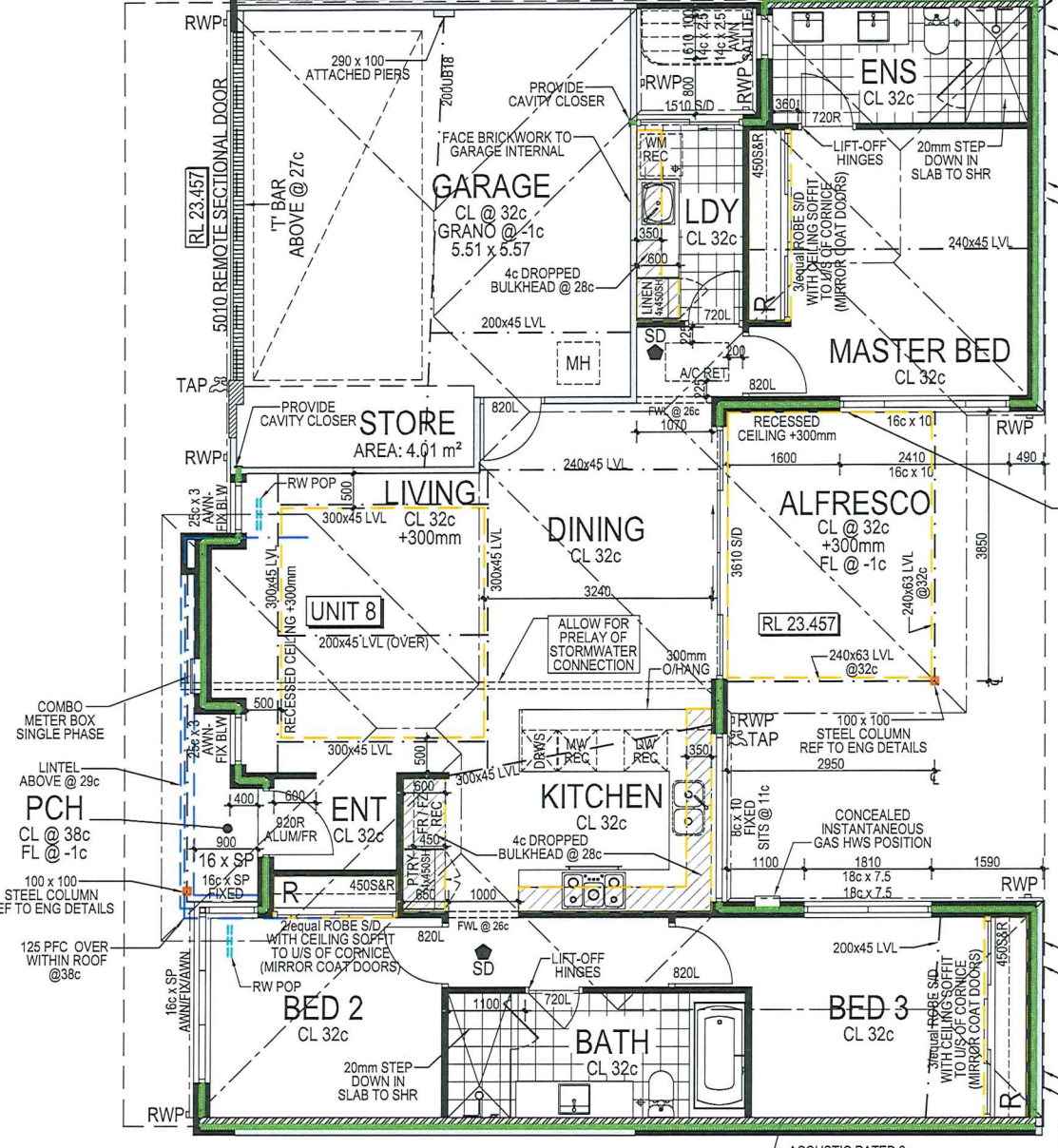
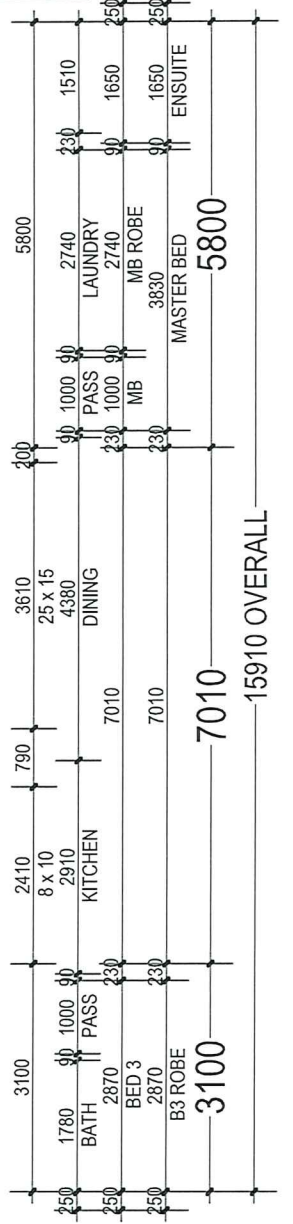
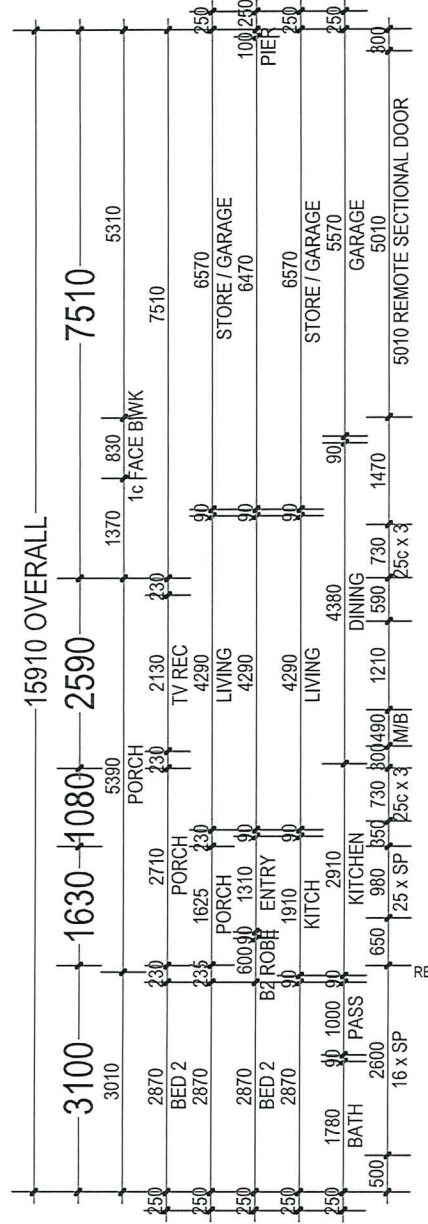
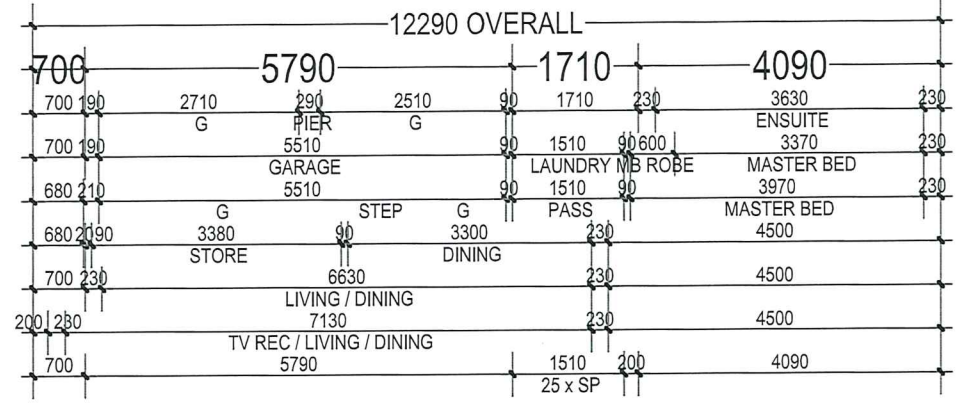
NOTE
RWP LOCATIONS ARE INDICATIVE ONLY AND MAY BE CHANGED AT BUILDERS DISCRETION

NOTE
STORM WATER TO COMPLY WITH AS3500, BCA, & LG REQUIREMENTS



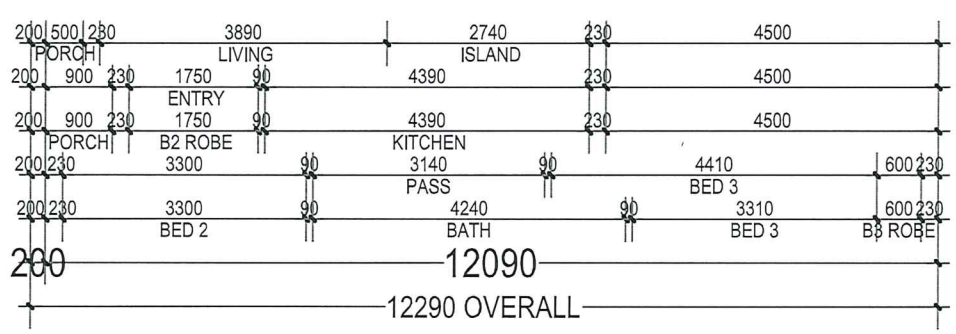
NOTE
BULK INSULATION R4.0 TO EXTERNAL CEILINGS AS PER ENERGY COMPLIANCE REPORT

NOTE
CONCRETE PILING FOR SEWER LINE - REFER TO STRUCTURAL DRAWINGS



WALL MATERIAL LEGEND

	STANDARD MAXI BRICKWORK
	2c HIGH FLORENTINE FACE BRICKWORK
	1c HIGH FEATURE FACE BRICKWORK
	ACOUSTIC MAXI BRICKWORK
	CAVITY INSULATION AS PER ENERGY ASSESSMENT







NOTE
WET AREAS TO BCA 3.8.1 OR AS3740

NOTE
TERMITE TREATMENT TO COMPLY TO AS 3660.1 - 2014

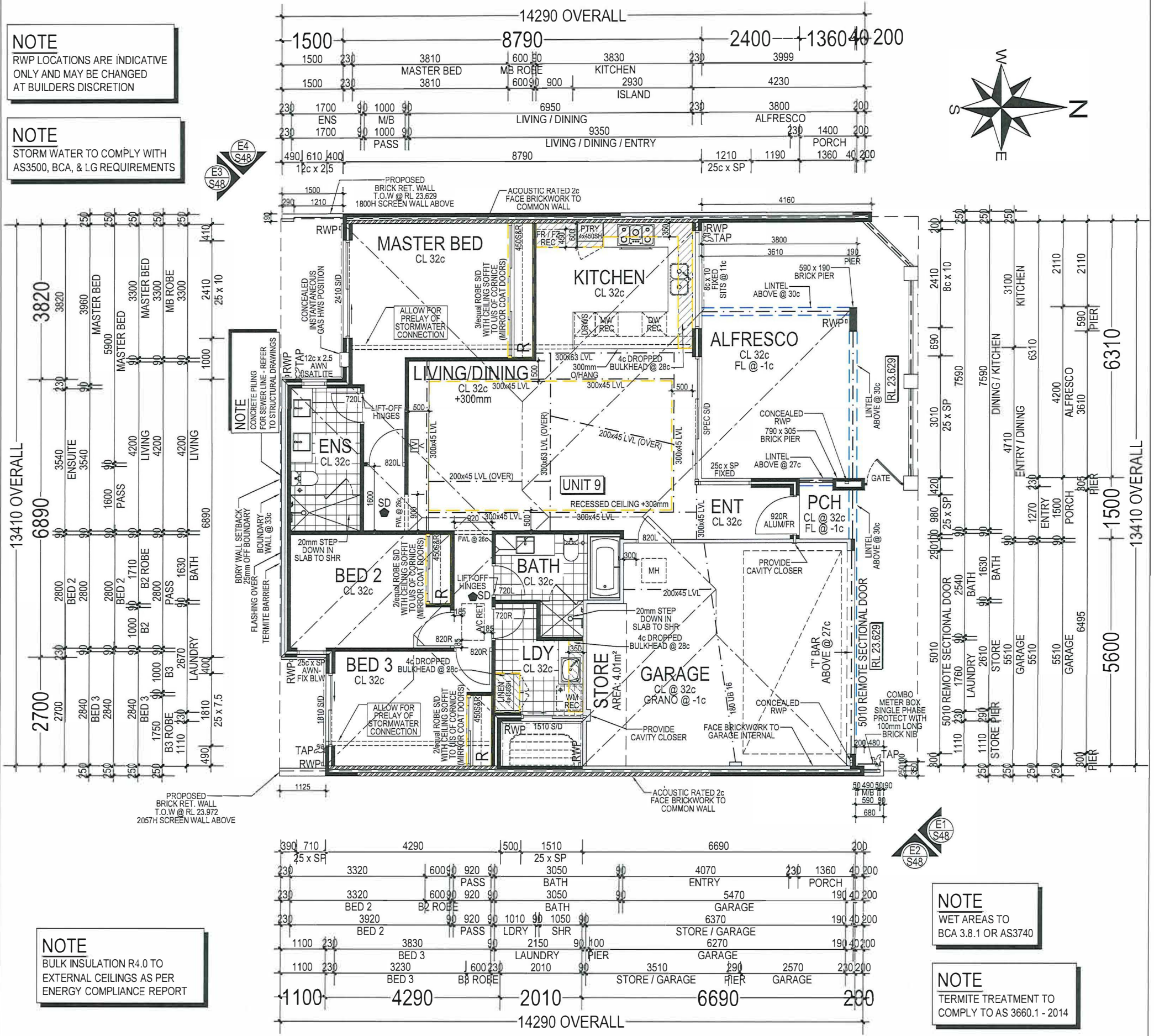
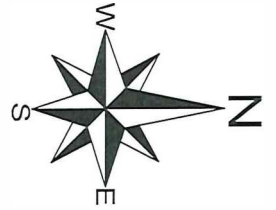
<p>AREAS:</p> <p>UNIT 8 Ground Living Area = 118.56m² Garage & Store Area = 35.87m² TOTAL Ground Area = 154.43m² Portico Area = 3.16m² Alfresco Area = 14.62m² TOTAL House Area = 172.21m²</p> <p>Site Area = 212.00m² Common Area = 60.57m² TOTAL Land Area inc. Common = 272.57m² Site Coverage = 56.66% Open Space = 43.34%</p>	<p>DRAWING NAME: UNIT 8 FLOOR PLAN</p> <p>THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.</p> <p>DATED:/...../.....</p>	<p>SHEET No: S42 OF 87</p> <p>REVISION: A</p> <p>JOB No: 295&297M</p>
	<p>OWNER WITNESS</p> <p>OWNER WITNESS</p> <p>BUILDER WITNESS</p> <p>Please check plans, specification and addenda carefully. All dimensions to take preference over scaling. All dimensions to be checked on site, any error or discrepancies then please contact the office. © COPYRIGHT</p>	<p>SHIRE: CITY OF STIRLING</p> <p>Drawn By: AP529 Date Drawn: 11/01/22 Scale: 1:100 @ A3 Date Prntd: 04/04/22 Ver: 3.2 CHKD:</p>

WALL MATERIAL LEGEND

-  STANDARD MAXI BRICKWORK
-  2c HIGH FLORENTINE FACE BRICKWORK
-  BRICKWORK TO SPECIFIED HEIGHT
-  ACOUSTIC MAXI BRICKWORK

NOTE
RWP LOCATIONS ARE INDICATIVE ONLY AND MAY BE CHANGED AT BUILDERS DISCRETION

NOTE
STORM WATER TO COMPLY WITH AS3500, BCA, & LG REQUIREMENTS



NOTE
BULK INSULATION R4.0 TO EXTERNAL CEILINGS AS PER ENERGY COMPLIANCE REPORT

NOTE
WET AREAS TO BCA 3.8.1 OR AS3740

NOTE
TERMITE TREATMENT TO COMPLY TO AS 3660.1 - 2014

AREAS:

UNIT 9	
Ground Living Area =	117.87m ²
Garage & Store Area =	35.63m ²
TOTAL Ground Area =	153.50m ²
Portico Area =	1.76m ²
Alfresco Area =	16.21m ²
TOTAL House Area =	171.47m²
Site Area =	213.00m ²
Common Area =	60.57m ²
TOTAL Land Area inc. Common =	273.57m ²
Site Coverage =	56.11%
Open Space =	43.89%

DRAWING NAME:
UNIT 9 FLOOR PLAN

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

OWNER WITNESS

OWNER WITNESS

BUILDER WITNESS

DATED:/...../.....

Please check plans, specification and addenda carefully.
All dimensions to take preference over scaling.
All dimensions to be checked on site, any error or discrepancies then please contact the office.
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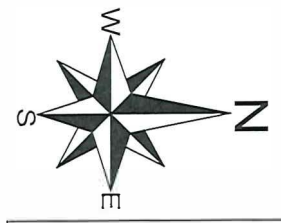
SHEET No: **S47 OF 87** REVISION: **A** JOB No: **295&297M**

SHIRE: **CITY OF STIRLING**

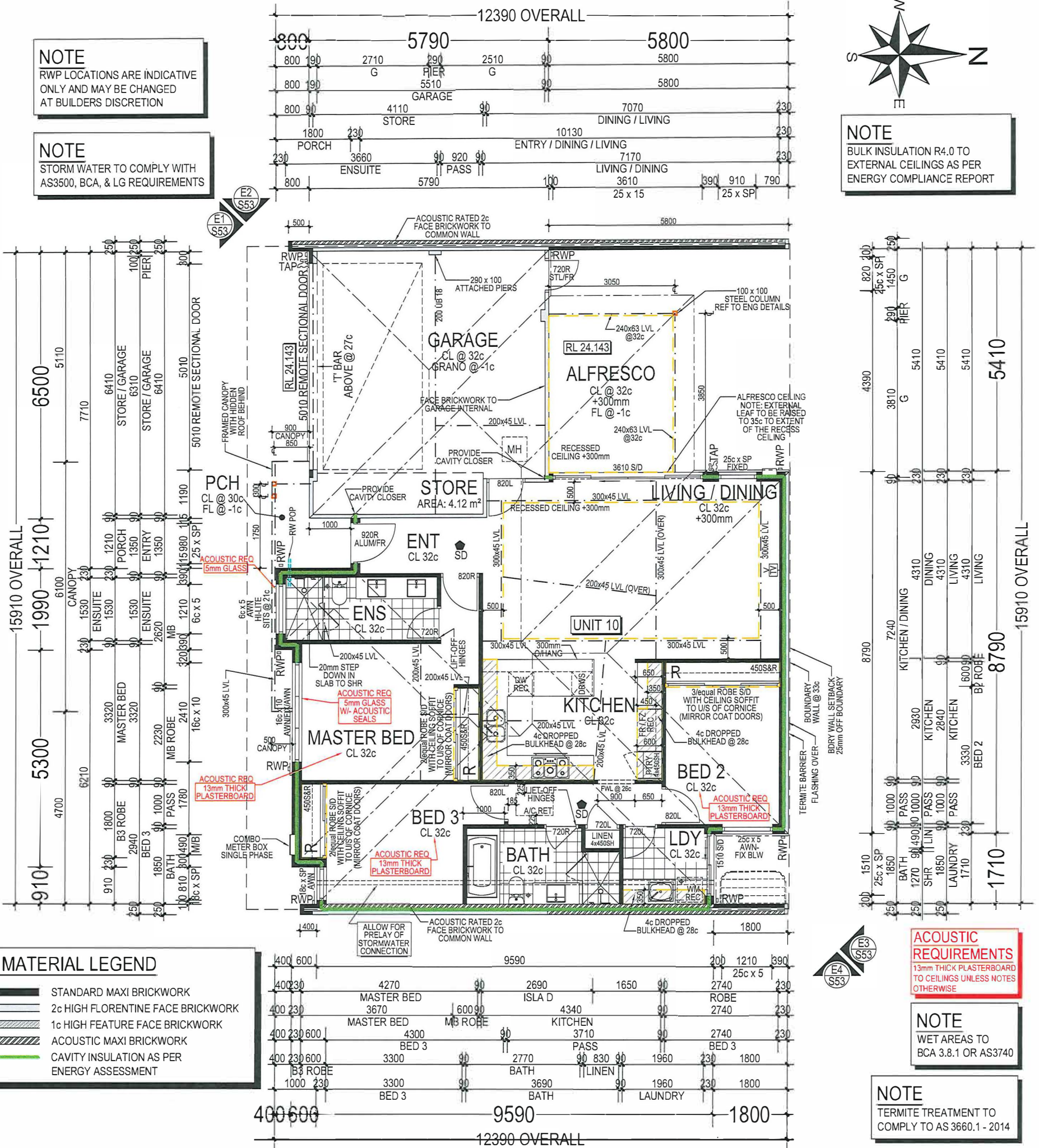
Drawn By: AP529	Date Drawn: 11/01/22	Scale: 1:100 @ A3	Date Prntd: 04/04/22	Ver: 3.2	CHKD:
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NOTE
RWP LOCATIONS ARE INDICATIVE ONLY AND MAY BE CHANGED AT BUILDERS DISCRETION

NOTE
STORM WATER TO COMPLY WITH AS3500, BCA, & LG REQUIREMENTS



NOTE
BULK INSULATION R4.0 TO EXTERNAL CEILINGS AS PER ENERGY COMPLIANCE REPORT



WALL MATERIAL LEGEND

	STANDARD MAXI BRICKWORK
	2c HIGH FLORENTINE FACE BRICKWORK
	1c HIGH FEATURE FACE BRICKWORK
	ACOUSTIC MAXI BRICKWORK
	CAVITY INSULATION AS PER ENERGY ASSESSMENT

E3 S53
E4 S53

ACOUSTIC REQUIREMENTS
13mm THICK PLASTERBOARD TO CEILINGS UNLESS NOTES OTHERWISE

NOTE
WET AREAS TO BCA 3.8.1 OR AS3740

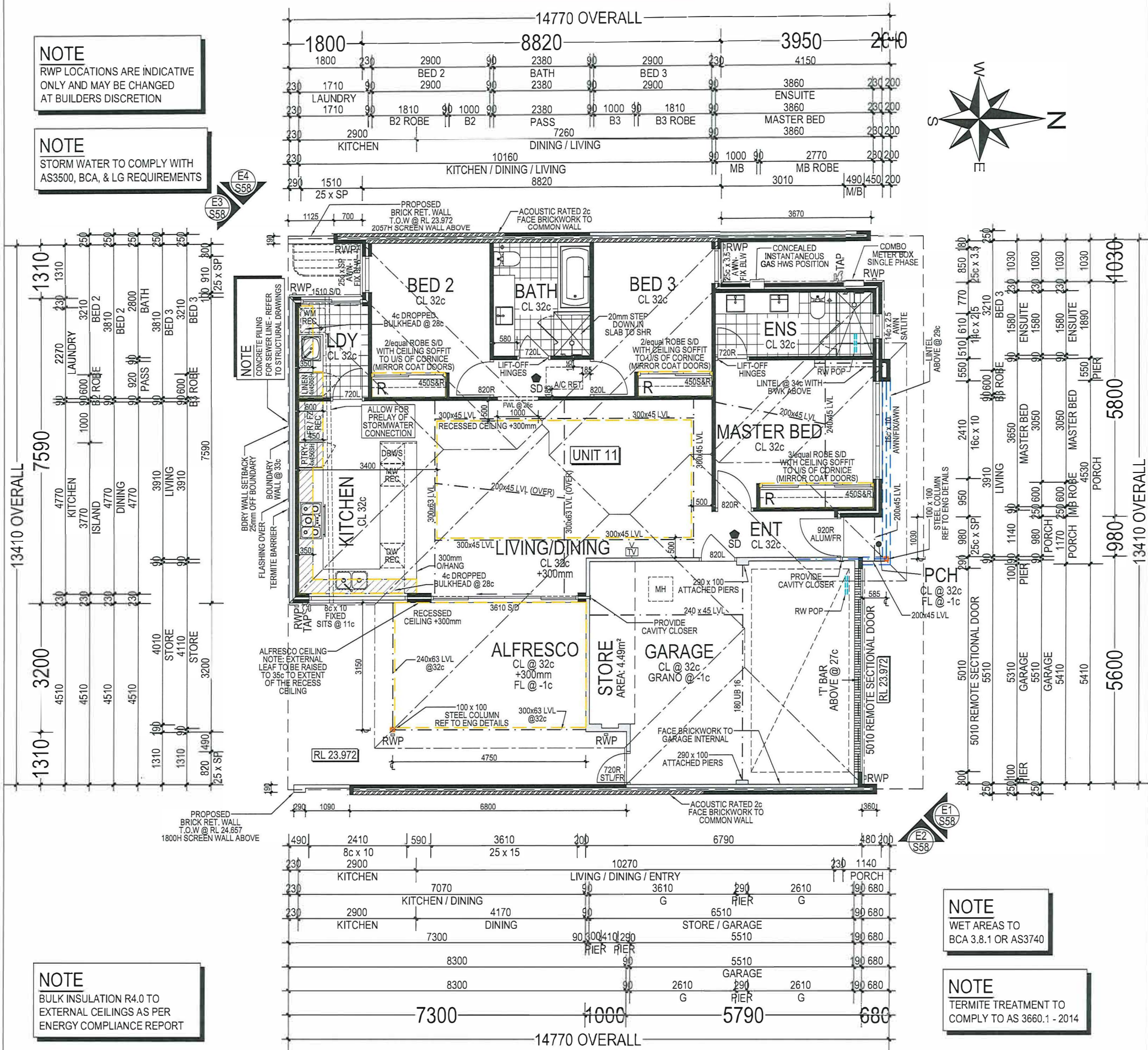
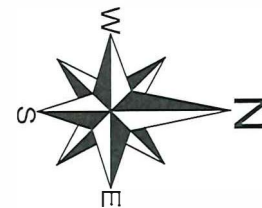
NOTE
TERMITE TREATMENT TO COMPLY TO AS 3660.1 - 2014

<p>AREAS:</p> <p>UNIT 10 Ground Living Area = 117.30m² Garage & Store Area = 36.34m² TOTAL Ground Area = 153.64m² Portico Area = 2.77m² Alfresco Area = 15.05m² TOTAL House Area = 171.46m²</p> <p>Site Area = 212.00m² Common Area = 60.57m² TOTAL Land Area inc. Common = 272.57m² Site Coverage = 56.37% Open Space = 43.63%</p>		<p>DRAWING NAME: UNIT 10 FLOOR PLAN</p> <p>THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.</p> <p>DATED:/...../.....</p> <p>Please check plans, specification and addenda carefully. All dimensions to take preference over scaling. All dimensions to be checked on site, any error or discrepancies then please contact the office. © COPYRIGHT</p>		<p>SHEET No: S52 OF 87</p> <p>REVISION: A</p> <p>JOB No: 295&297M</p>	
		<p>OWNER WITNESS</p> <p>OWNER WITNESS</p> <p>BUILDER WITNESS</p>		<p>SHIRE: CITY OF STIRLING</p> <p>Drawn By: AP529 Date Drawn: 11/01/22 Scale: 1:100 @ A3 Date Pmtd: 04/04/22 Ver: 3.2 CHKD:</p>	

WALL MATERIAL LEGEND	
	STANDARD MAXI BRICKWORK
	2c HIGH FLORENTINE FACE BRICKWORK
	BRICKWORK TO SPECIFIED HEIGHT
	ACOUSTIC MAXI BRICKWORK

NOTE
RWP LOCATIONS ARE INDICATIVE ONLY AND MAY BE CHANGED AT BUILDERS DISCRETION

NOTE
STORM WATER TO COMPLY WITH AS3500, BCA, & LG REQUIREMENTS



NOTE
BULK INSULATION R4.0 TO EXTERNAL CEILINGS AS PER ENERGY COMPLIANCE REPORT

NOTE
WET AREAS TO BCA 3.8.1 OR AS3740

NOTE
TERMITE TREATMENT TO COMPLY TO AS 3660.1 - 2014

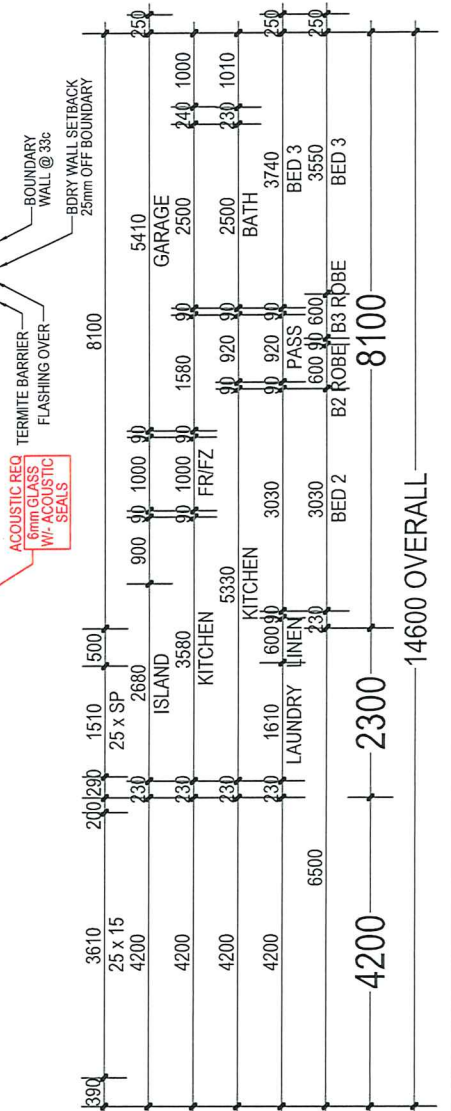
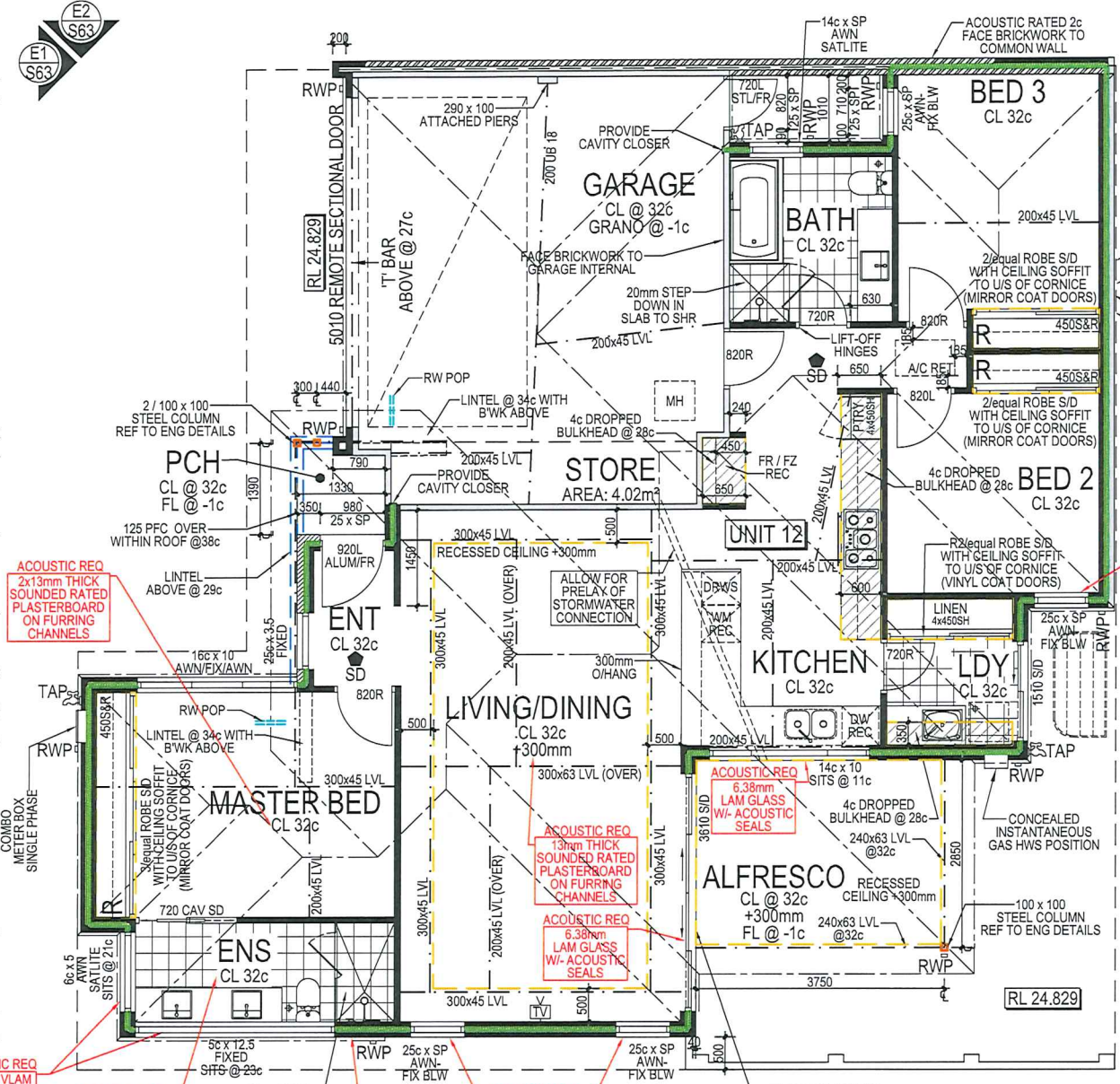
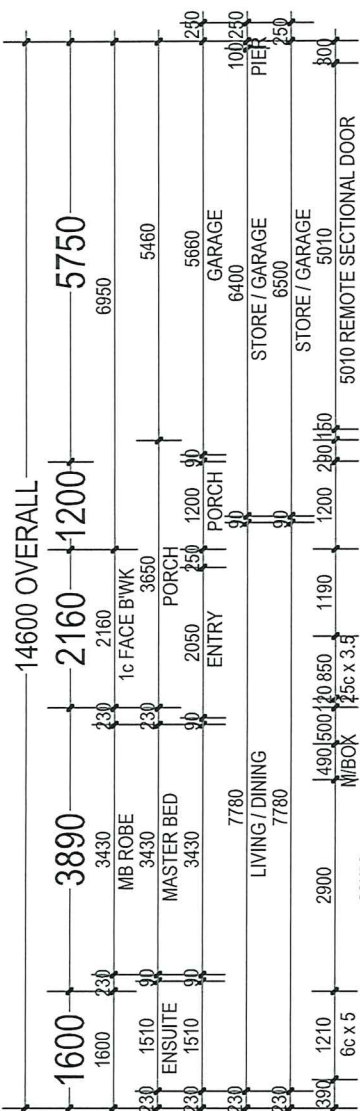
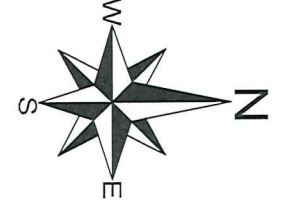
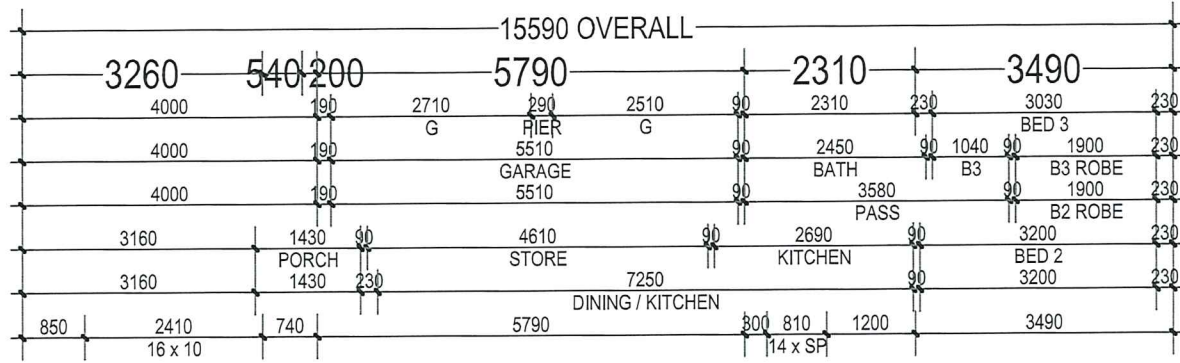
AREAS:		DRAWING NAME:		SHEET No:	REVISION:	JOB No:
UNIT 11		UNIT 11 FLOOR PLAN		S57 OF 87	A	295&297M
Ground Living Area =	116.23m ²	THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.	OWNER	WITNESS		
Garage & Store Area =	36.57m ²		OWNER	WITNESS		
TOTAL Ground Area =	152.80m ²	DATED:	BUILDER	WITNESS		
Portico Area =	1.38m ²	Please check plans, specification and addenda carefully.		SHIRE: CITY OF STIRLING		
Alfresco Area =	18.72m ²	All dimensions to take preference over scaling.		Drawn By:	Date Drawn:	Scale:
TOTAL House Area =	172.90m ²	All dimensions to be checked on site, any error or discrepancies then please contact the office.		AP529	11/01/22	1:100 @ A3
Site Area =	213.00m ²	© COPYRIGHT		Date Prntd:	Ver:	CHKD:
Common Area =	60.57m ²			04/04/22	3.2	
TOTAL Land Area inc. Common =	273.57m ²					
Site Coverage =	55.85%					
Open Space =	44.15%					

WALL MATERIAL LEGEND

- STANDARD MAXI BRICKWORK
- 2c HIGH FLORENTINE FACE BRICKWORK
- 1c HIGH FEATURE FACE BRICKWORK
- ACOUSTIC MAXI BRICKWORK
- CAVITY INSULATION AS PER ENERGY ASSESSMENT

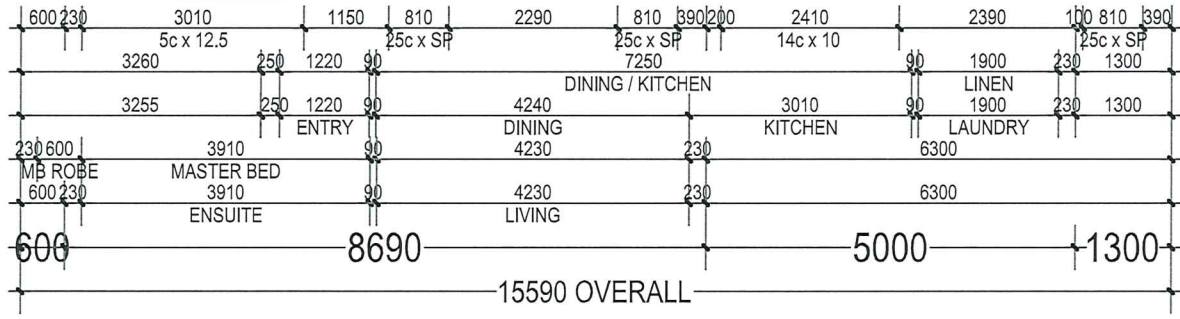
NOTE
RWP LOCATIONS ARE INDICATIVE ONLY AND MAY BE CHANGED AT BUILDERS DISCRETION

NOTE
STORM WATER TO COMPLY WITH AS3500, BCA, & LG REQUIREMENTS



NOTE
BULK INSULATION R4.0 TO EXTERNAL CEILINGS AS PER ENERGY COMPLIANCE REPORT

NOTE
ANTICON FOIL INSULATION AS PER SPECIFICATION



NOTE
WET AREAS TO BCA 3.8.1 OR AS3740

NOTE
TERMITE TREATMENT TO COMPLY TO AS 3660.1 - 2014

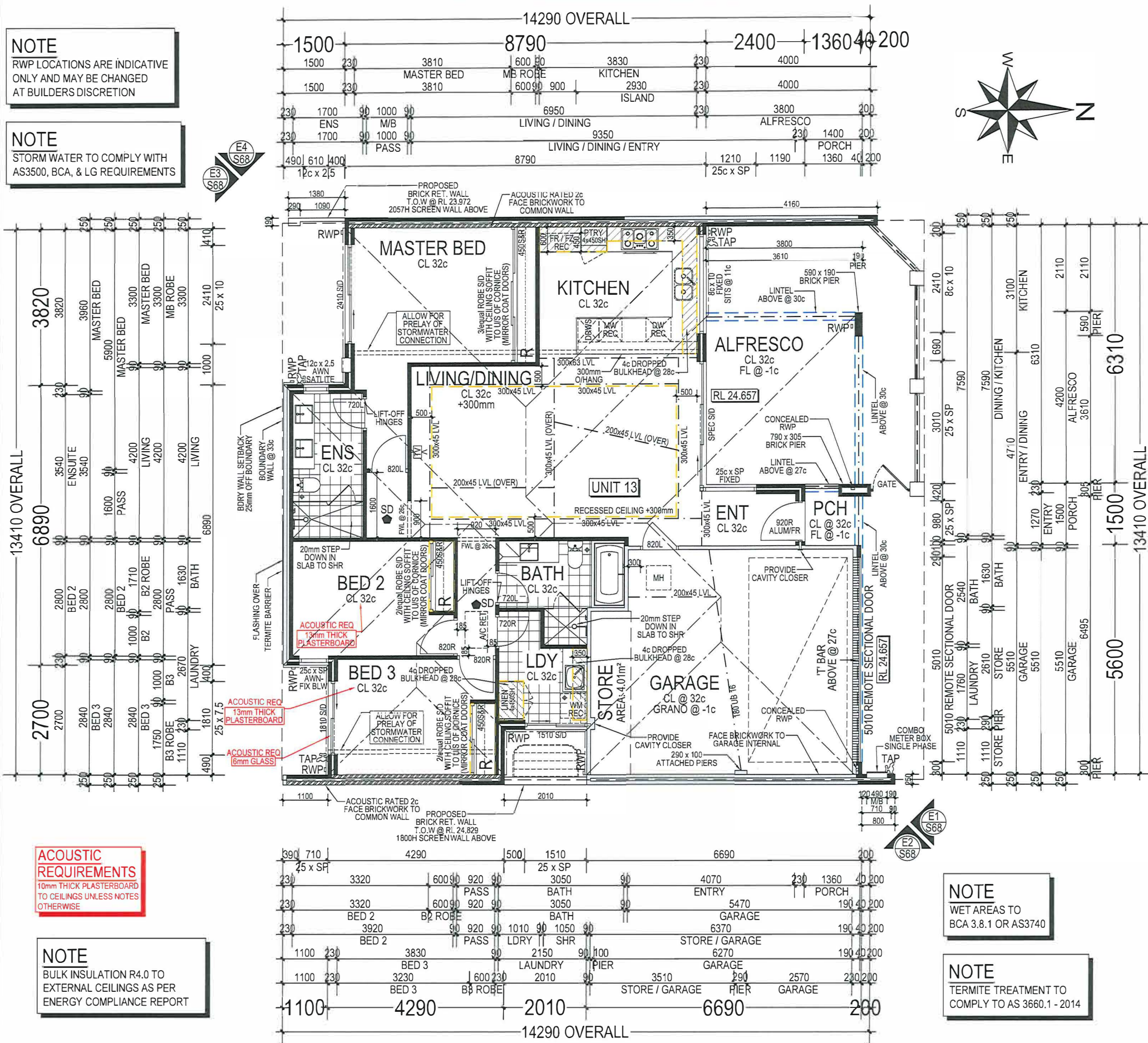
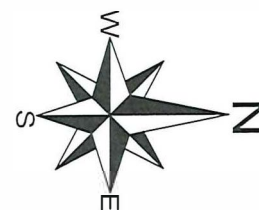
AREAS:	DRAWING NAME:	SHEET No:	REVISION:	JOB No:
UNIT 12 Ground Living Area = 123.45m ² Garage & Store Area = 36.77m ² TOTAL Ground Area = 160.22m ² Portico Area = 2.09m ² Alfredo Area = 13.65m ² TOTAL House Area = 175.96m²	UNIT 12 FLOOR PLAN	S62 OF 87	A	295&297M
Site Area = 216.00m ² Common Area = 60.57m ² TOTAL Land Area inc. Common = 276.57m ² Site Coverage = 57.93% Open Space = 42.07%	THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT. OWNERS: WITNESS: OWNERS: WITNESS: DATED:/...../..... BUILDER: WITNESS: Please check plans, specification and addenda carefully. All dimensions to be checked on site, any error or discrepancies then please contact the office. © COPYRIGHT	CITY OF STIRLING		
		Drawn By: AP529	Date Drawn: 11/01/22	Scale: 1:100 @ A3
		Date Prntd: 04/04/22	Ver: 3.2	CHKD:

WALL MATERIAL LEGEND

	STANDARD MAXI BRICKWORK
	2c HIGH FLORENTINE FACE BRICKWORK
	BRICKWORK TO SPECIFIED HEIGHT
	ACOUSTIC MAXI BRICKWORK

NOTE
RWP LOCATIONS ARE INDICATIVE ONLY AND MAY BE CHANGED AT BUILDERS DISCRETION

NOTE
STORM WATER TO COMPLY WITH AS3500, BCA, & LG REQUIREMENTS



AREAS:

UNIT 13	
Ground Living Area =	117.87m ²
Garage & Store Area =	35.63m ²
TOTAL Ground Area =	153.50m ²
Portico Area =	1.76m ²
Alfresco Area =	16.21m ²
TOTAL House Area =	171.47m²
Site Area =	213.00m ²
Common Area =	60.57m ²
TOTAL Land Area inc. Common =	273.57m ²
Site Coverage =	56.11%
Open Space =	43.89%

DRAWING NAME:

UNIT 13 FLOOR PLAN

THIS IS ONE OF THE DRAWINGS REFERRED TO IN THE CONTRACT.

DATED:/...../.....

OWNER	WITNESS
OWNER	WITNESS
BUILDER	WITNESS

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SHEET No:

S67 OF 87

REVISION:

A

JOB No:

295&297M

CITY OF STIRLING

Drawn By:	Date Drawn:	Scale:	Date Prntd:	Ver:	CHKD:
AP529	11/01/22	1:100 @ A3	04/04/22	3.2	



PROUDLY PRESENTED BY...

TEAM NAUMOVSKI

0424 364 326



FOR ALL YOUR REAL ESTATE NEEDS